



## Pre-Application Meeting PRE 24-06 Agenda

Wednesday May 15, 2023 at 3:00 p.m.  
Woodburn City Hall, Large Conference Room

Thank you for joining staff for pre-application meeting PRE 24-06 to discuss the proposed quadplex at 115 Gatch St. (Tax Lot 051W18AD06400). The property is 0.29 acres within the Medium Density Residential (RM) zoning district. Section references throughout this agenda are to the [Woodburn Development Ordinance \(WDO\)](#).



Sheet G3.02: SE Perspective

### Property Details:

- RM zoning
- 0.29 acres
- Comp plan: RM 10-16 DUs per net acre
- RM zoning (Table 2.02E): other than house or duplex: min 12.8; no max.  $0.29 \times 12.8 = 3.7$ . Proposed quadplex exceeds min density.

### A. Zoning and site planning:

1. Use: RM zone allowed uses are per Table 2.02A. The proposed quadplex is permitted outright.
2. RM Site development standards can be found in Table 2.02E (setbacks, building height, etc.). Also remember to conform with Building Code setbacks which may be greater than Planning's.

## **Important**

### *2.02 Residential development standards:*

The submitted building design is too close to the western rear lot line. A deeper rear setback is required per Table 2.02E.

Note that minimum setbacks are tiered, meaning that each upper story is subject to a deeper minimum setback than the story below it. (The proposal, which includes dormer shed roofs, correctly measures height to the top of the highest shed roof per 1.02 “building height”.)

**Suggestion:** Swap building and parking area to site building closer to the street because of 3.05.02D.3 (front yard parking prohibition in all residential zoning districts excepting in front of a garage or carport) and based on 3.07.05C.3c. (Minimum eastern front setback for the proposal per Table 2.02G is either 18 feet or per table footnote 8.) .

3. Access: Standards are outlined in 3.04.
  - a. Paved width of a two-way driveway is 14ft minimum.
  - b. Pedestrian access requirements are outlined in 3.04.06C.
  - c. The drive aisle may narrow from the proposed 30 ft to the minimum 24 ft per Table 3.05B.
4. Traffic: Pursuant to 3.04.05B, provide a traffic impact memo for the proposal.
5. Parking: Standards found in 3.05. Per Table 3.05A, 1 space per unit is required. Dimension requirements are outlined in Table 3.05B. Table 3.05D requires two bike parking stalls (see 3.05.06 for standards).
  - a. 5ft parking and drive aisle setback.
  - b. Minimum dimensions of standard-size parking stalls may shrink to 8 by 18 ft per Table 3.05B footnote 6, & may occupy up to 1.5ft of landscaping area.
  - c. 2 bicycle parking stalls required
6. Architectural design: The proposed quadplex building must meet the standards in 3.07.02 and Table 3.07A.

*1. Design Standards. Each [...], quadplex, [...] shall meet all the design standards identified in Table 3.07A as required standards and a minimum number of points per subsection (2.) below.*

2. *Design Options. Each [...] quadplex, [...] shall meet enough of the menu options identified in Table 3.07A as providing optional points to total 16 points. Totaling 16 or more points is a requirement, and the choice of any particular menu option is optional.*

7. Fencing: See 2.06.02 for fencing regulations and note that a [Fence Permit](#) is required for any new fencing.
8. Addressing: Expect the 4 units to be assigned addresses as follows:  
ground floor, west to east: 101 & 102; upper floor, west to east: 201 & 202.
9. Correct elevation labels prior to application: The “east” one is actually “north” etc.

At least one on-site tree is likely a “**Significant Tree**”. If so, preservation is likely required. See 3.06.07 for details, including Tier 3 (T3) regulations. A demolition permit approval isn’t a tree removal approval. If a Significant Tree, note that following this pre-app and without City approval, **disappearance or suspicious fatal injury of the tree could subject the landowner to code enforcement and civil penalty such as a fine of \$5,000 to \$10,000** through Ordinance No. 2592 (August 9, 2021).

B. Street Improvements Required for Development (3.01.03.C.2) “Infill Development.”

1. Gatch St is an Access Street, & the standard cross-section is Figure 3.01E.
  - a. Existing ROW is 40ft, 13 ft dedication required. *(The developer’s surveyor will confirm field conditions and the exact minimum dedication.)*
  - b. Grant a streetside PUE along the widened ROW. Min width is 5ft, max is 8ft *(depending on PW & Utility needs, & per 3.02.01B & 3.02.01F.2.)*
  - c. Per 3.01.03C2, either construct a 6ft sidewalk and 6ft landscape strip along the frontage to match Figure 3.01E or pay fee in-lieu per Section 4.02.12;
    - Regarding the sidewalk requirement, the City prefers construction instead of developer buy-out through fee in-lieu payment. *(See Improvements: Per Figures 3.01A & 3.01C & the list in 3.01.03C.2.)*
  - d. Plant 3 street trees per Section 3.06.03A and specifically sited to conform with where a landscape strip would be per the required cross section, or pay fee in-lieu per Section 4.02.12; and
  - e. Provide minimum access per Section 3.04, and where a driveway approach, apron, curb cut, or ramp within ROW is relevant, have it meet the public works construction code.

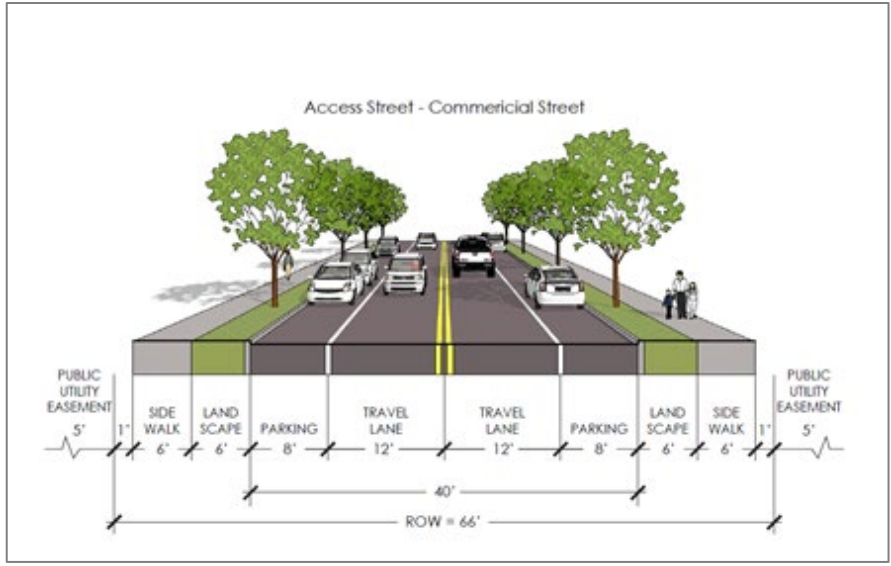
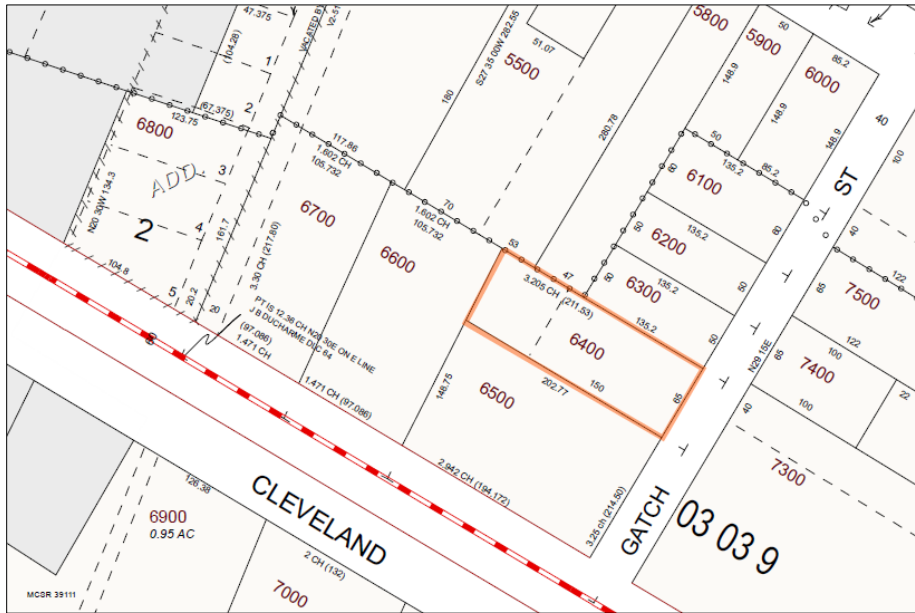


Figure 3.01E – Access Street / Commercial Street



Marion County Tax Map excerpt

**Warning:** WDO 3.01.02E states:

“The construction of **all public improvements**, their passing City inspections, and acceptance by the City **are due** [...] **by building permit issuance**, except if (1) the developer applies to the City through the Public Works Department for deferral and (2) the City Administrator or designee issues a document approving and describing a bond or performance guarantee pursuant to Section 4.02.08. Administration of bonding and performance guarantees for improvements that are public defaults to the Public Works Department, and the department shall notify the Community Development Director of deferral applications and any approvals and conditions of approval.”

If delaying or deferring (Public Works Department process and bonding ) expect to pay additional money above and beyond whatever that department charges and bonding amount: a delay or deferral fee of \$4,695 through the Planning Division per the [Planning Division fee schedule](#), page 2, row “Exception ...”.

C. Utilities:

1. Water and sewer: Any changes proposed to the [water and sewer connections](#) (link to maps online which are good estimations but should not be solely relied upon)
2. Stormwater: Comply with the [City Storm Drainage Master Plan, Chap 7 & 11](#) and any state standards/requirements. Expect to submit a stormwater report for City review.
3. Undergrounding: Any utilities serving the property must be underground per 3.02.04.

3.02.04 Electric power lines and poles

Either remove and bury, or pay a fee in-lieu. This is required per 3.02.04B. Likely the way the WDO section would apply is to make the fee in-lieu required. Currently, the developer can expect to pay a rate of \$272.11 per lineal foot, and 65 ft of frontage per the tax map x \$272.11 = \$17,687.15, assessed at and through building permit review. (Oregon ePermitting).

4. [System development charges \(SDCs\)](#): See the Public Works summary sheet at bottom on [Engineering Division homepage](#). The City Engineer can answer any questions regarding SDCs. SDC payment is due by building permit issuance.
5. PGE: Work with Ken Spencer as needed to address any PGE items (503-970-7200, [Kenneth.spencer@pgn.com](mailto:Kenneth.spencer@pgn.com)).

D. Fire District: Include a “Fire Access Plan” illustrating the following items: Fire apparatus access and lane routes, lane widths, lane inside and outside turning radii per Oregon Fire Code (OFC), a fire suppression water line, hydrants, an on- or cross-site PUE for the fire suppression water line and hydrants, and any fire department connections (FDCs). Supplement with documentation of water flow measurements for nearby hydrants in order to determine if water supply is adequate. Additionally, provide evidence indicating the proposal has an adequate number of hydrants, whether through existing conditions or the installation of additional hydrants.

Contact Jim Gibbs, Fire Marshal for the Woodburn Fire District, at [gibbsj@woodburnfire.com](mailto:gibbsj@woodburnfire.com) or 503-982-2360 to discuss [Oregon Fire Code \(OFC\)](#) requirements.

E. Building code: Any questions for the Building Official?

1. Demolition of existing house would require a [demolition permit](#) from the Building Division.
2. Discuss fire sprinklers
3. Electrical and plumbing permits are administered by Marion County

F. Alyssa Nichols, Permit Technician, 503-980-2432

G. Melissa Gitt, Building Official, 503-980-2430

### **Recommendations:**

Is the developer willing to:

- a. Have a row of trees in the front yard along the sidewalk (set back outside the streetside public utility easement boundary)?
- b. Follow these WDO sections for apartments as if they were applicable to the quadplex?
  - “Wide walkway” from sidewalk to breezeways (8 ft; 3.04.06B).
  - Wheels stops max 4 inches high in stalls facing wide walkway (3.05.02H).
  - Double-striped parking (3.05.02K & Figure 3.05C).
  - Exterior lighting being full cut-off, mounted not too high, and with warm color temperature (3.11.02).

F. Process:

1. Land use review: [Design Review](#) (Type I per 5.01.02B1a).

Oregon Revised Statutes (ORS) [227.178\(2\)](#) establishes that City staff reviews a submittal package for completeness and responds in writing to the applicant within 30 days. When complete, staff would proceed with a full review. From a completeness determination to decision, assume 6-8 weeks.

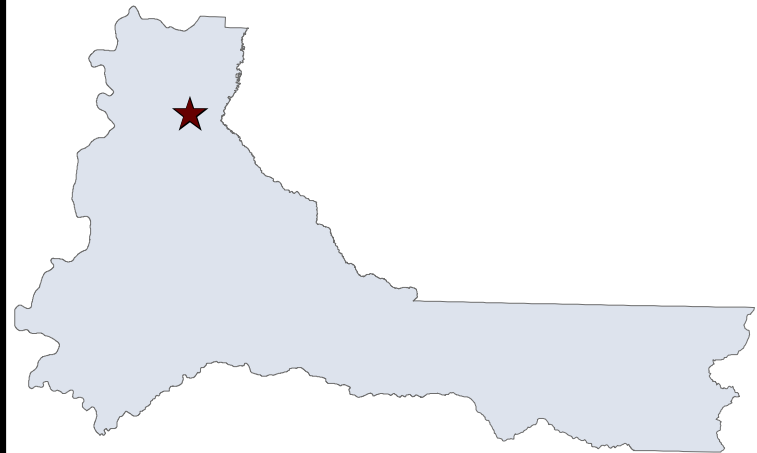
2. Public Works permits: Any work in the public ROW or on public utility lines will require a permit or permits through the Public Works Department. Contact the City Engineer with questions (Dago Garcia, 503-982-5248 or [dago.garcia@ci.woodburn.or.us](mailto:dago.garcia@ci.woodburn.or.us)).
3. Building permit: The City uses the [Oregon ePermitting](#) online permit system for application. Structural and mechanical permits are administered by the City, while plumbing and electrical permits are administered by Marion County Public Works.

Attachments:

- Marked tax map
- Submitted site plans



# 05 1W 18AD WOODBURN



**MARION COUNTY, OREGON**  
SE1/4 NE1/4 SEC18 T5S R1W W.M.  
SCALE 1" = 100'

### LEGEND

#### LINE TYPES

|                          |                       |
|--------------------------|-----------------------|
| Taxlot Boundary          | Historical Boundary   |
| Road Right-of-Way        | Easement              |
| Railroad Right-of-Way    | Railroad Centerline   |
| Private Road ROW         | Taxcode Line          |
| Subdivision/Plat Bndry   | Map Boundary          |
| Waterline - Taxlot Bndry | Waterline - Non Bndry |

#### CORNER TYPES

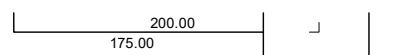
|                     |                  |
|---------------------|------------------|
| 1/16TH Section Cor. | 1/4 Section Cor. |
| DLC Corner          | Section Corner   |
|                     | 16 15<br>21 22   |

#### NUMBERS

Tax Code Number  
**00 00 0**  
Acres 0.25 AC All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

#### NOTES

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW



#### CANCELLED NUMBERS

- 1401
- 1500
- 1900
- 2000
- 2100
- 2200
- 2901
- 3000
- 4200
- 5700
- 8300A1

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



Assessors Office  
Cartography Dept

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT [www.co.marion.or.us](http://www.co.marion.or.us)

PLOT DATE: 5/17/2023

**WOODBURN**  
**05 1W 18AD**



05 1W 18AD

03 93 9

05 1W 18AD











**GENERAL PLAN NOTES:**

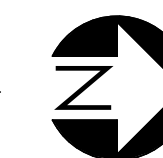
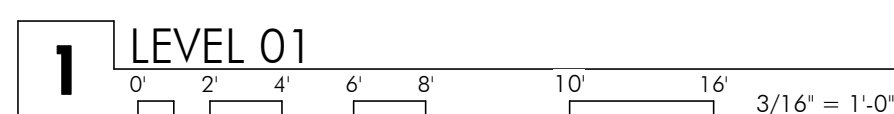
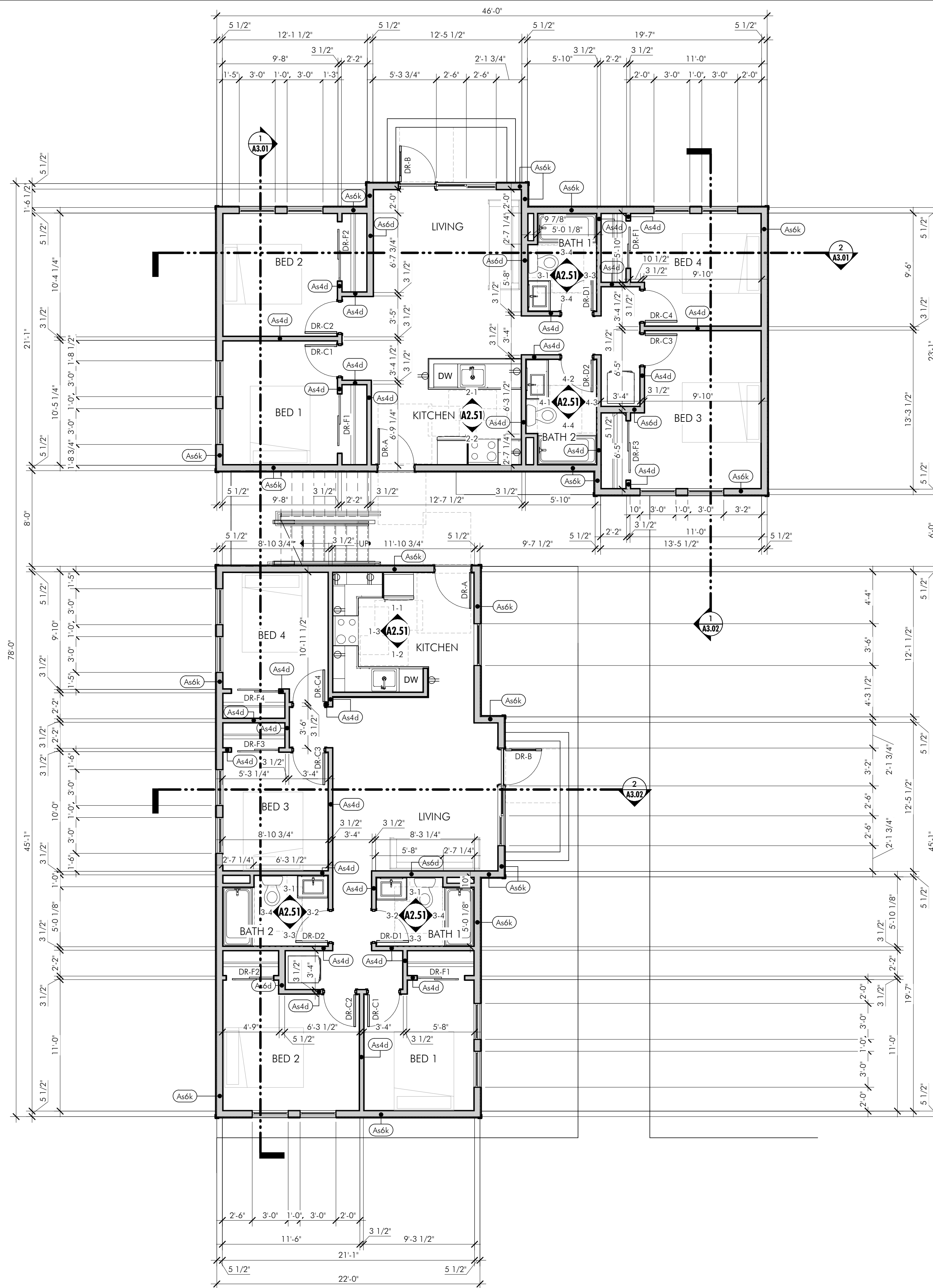
- GENERAL NOTES APPLY TO ALL DRAWINGS.
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- SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.
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**PLAN LEGEND:**

-  HOSE BIB
-  DOWNSPOUT

**FLOOR PLAN NOTES:**



-  CRAWL SPACE ACCESS
-  ATTIC ACCESS
-  DOWNSPOUT
-  SURFACE MOUNT FIRE EXTINGUISHER







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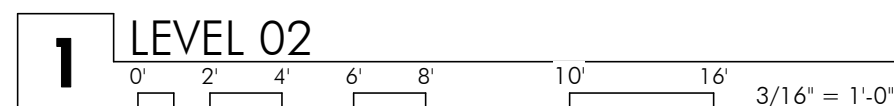
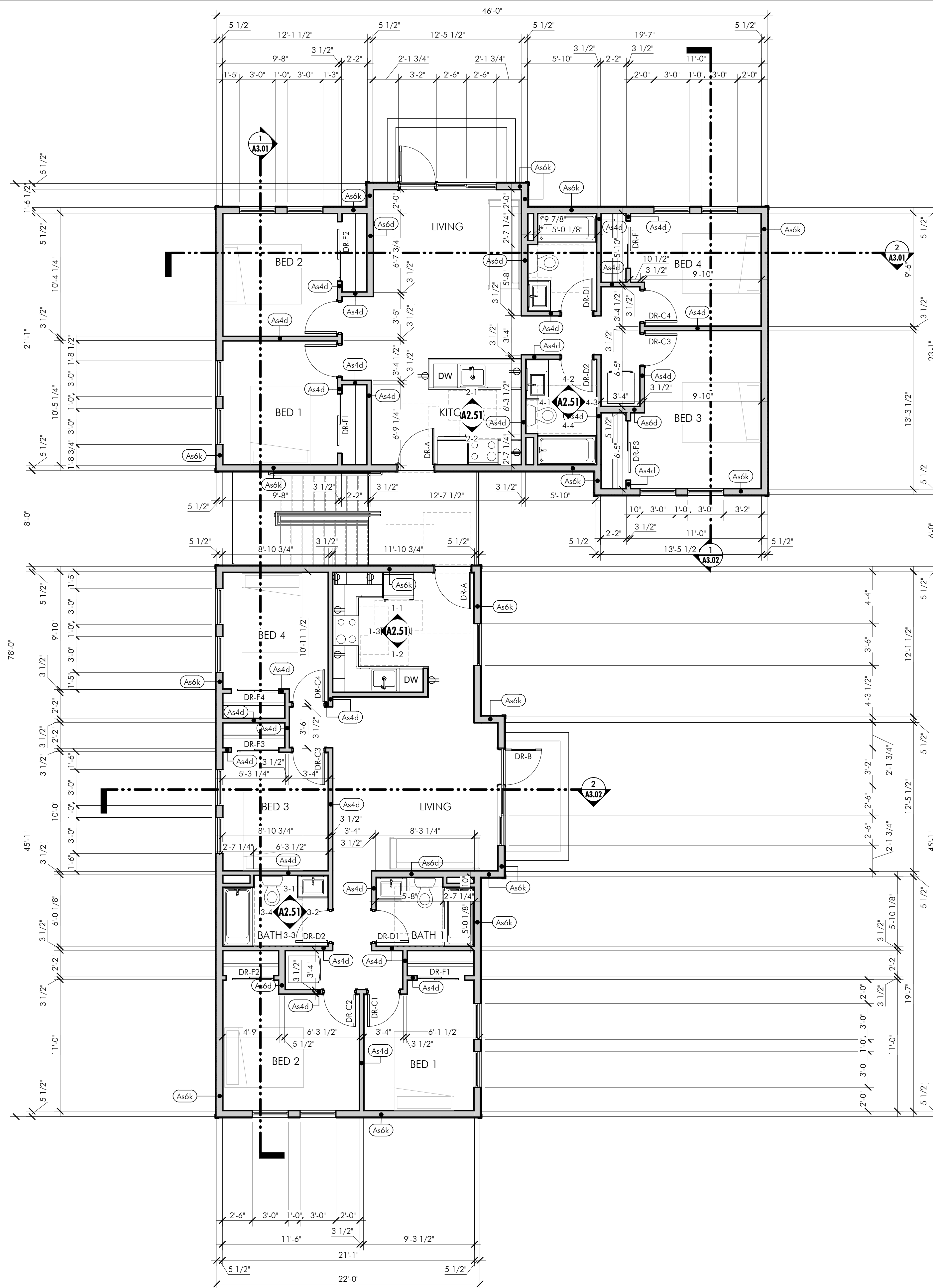
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-  HOSE BIB
-  DOWNSPOUT

FLOOR PLAN NOTES:

-  CRAWL SPACE ACCESS
-  ATTIC ACCESS
-  DOWNSPOUT
-  SURFACE MOUNT FIRE EXTINGUISHER





IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2024-019  
DATE: 02/27/2024  
REVISIONS

**NEW 4-PLEX**  
**115 GATCH STREET**  
115 Gatch St, Woodburn, OR 97071

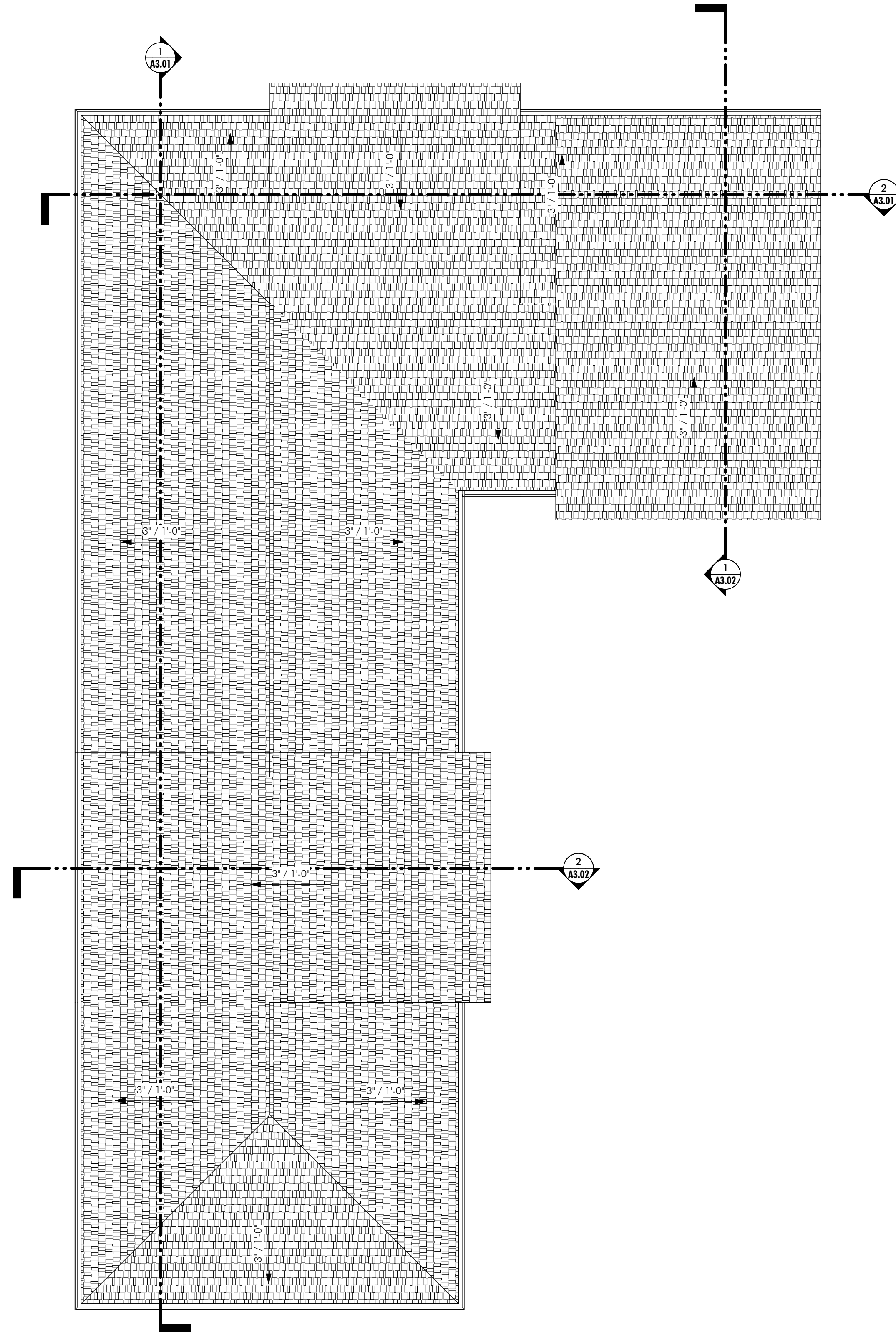
SHEET:  
**A1.23**

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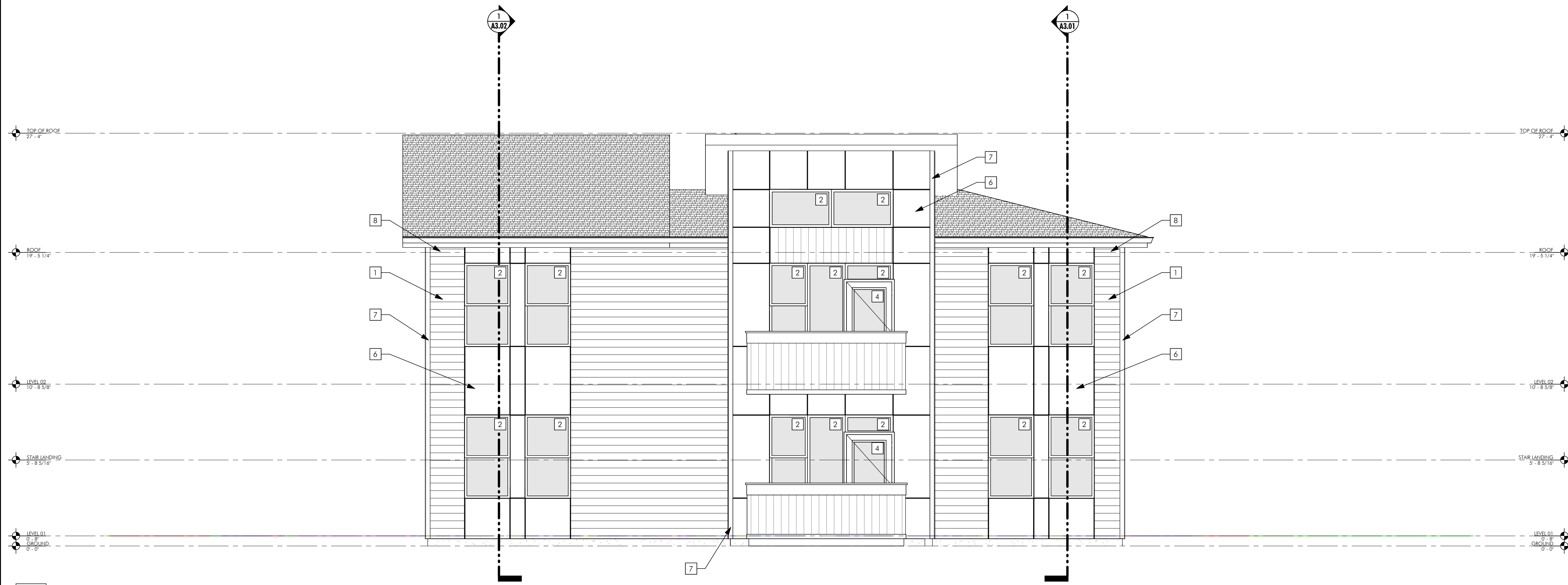
**ROOF PLAN NOTES:**

- 1 8x8 ROOF VENTS
- 2 CONTINUOUS GUTTER
- 3 DOWNSPOUT

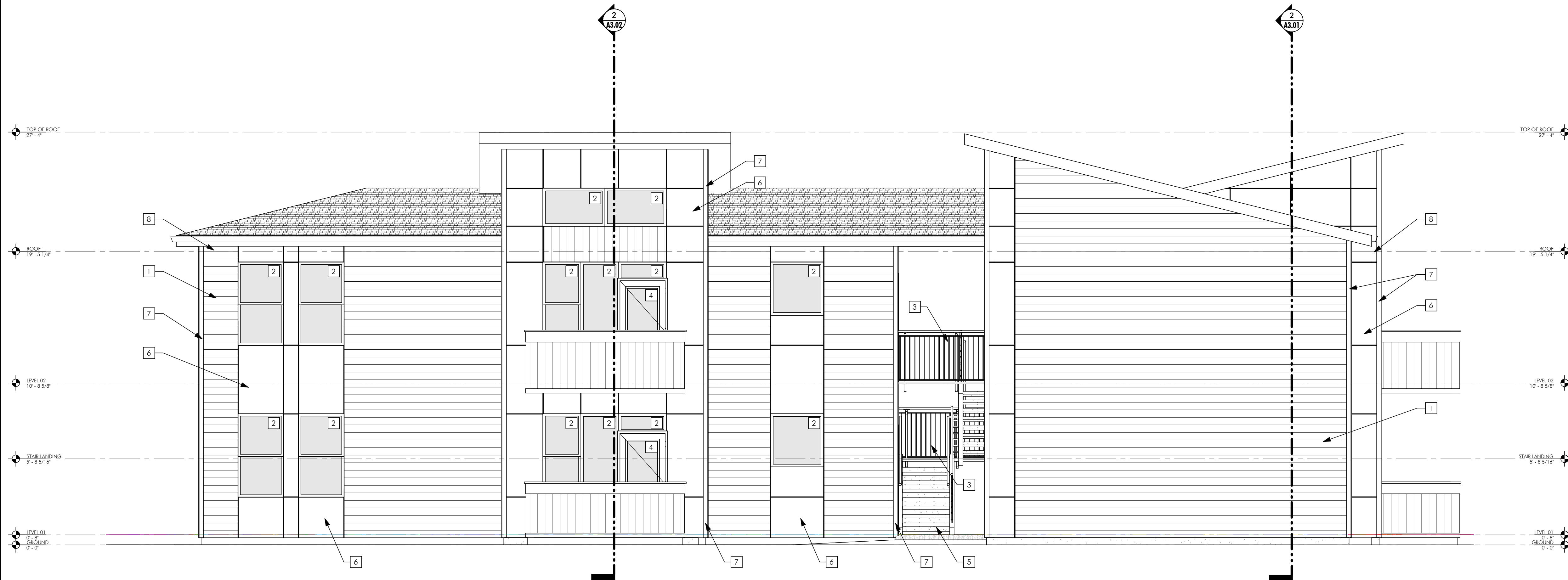


ELEVATION NOTES:

- 1 FIBER CEMENT LAP SIDING
- 2 VINYL WINDOW ASSEMBLY.
- 3 BALCONY RAILING SYSTEM, 42" MIN.
- 4 DOOR PER SCHEDULE.
- 5 EXTERIOR STAIR
- 6 FIBER CEMENT PANELS
- 7 EXTERIOR CORNER TRIM, SEE DETAIL 5/ A5.13
- 8 CONTINUOUS GUTTER
- 9 DOWN SPOUT
- 10 DUCT IN JOIST, SEE DETAIL 5/ A5.14



**1** BUILDING ELEVATION - NORTH  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

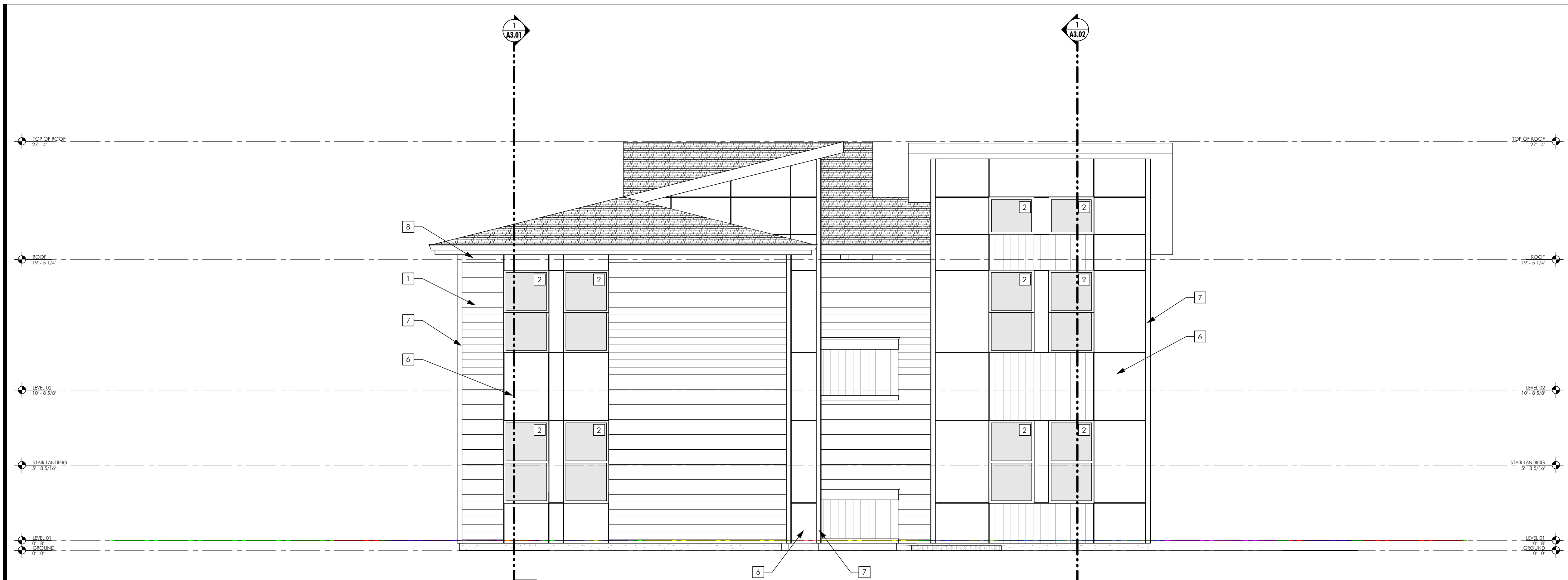


**2** BUILDING ELEVATION - EAST  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



ELEVATION NOTES:

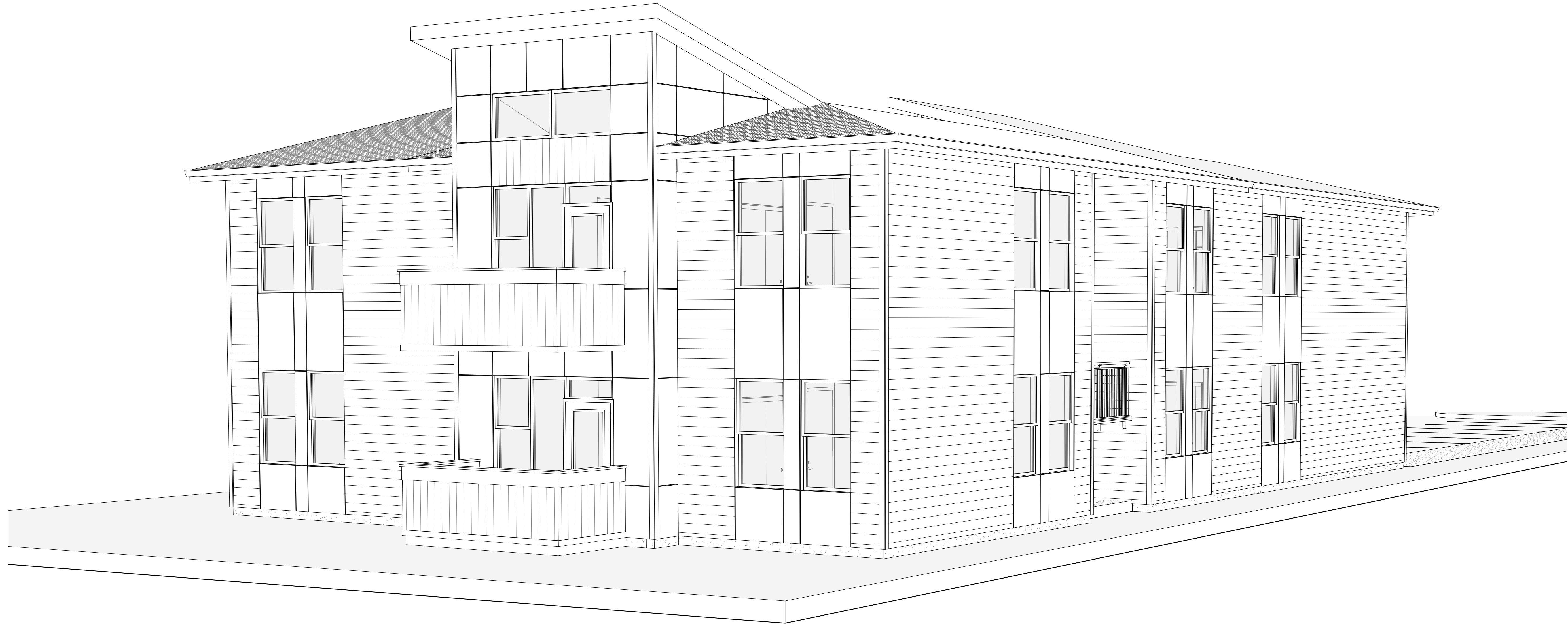
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**1** BUILDING ELEVATION - SOUTH  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



**2** BUILDING ELEVATION - WEST  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



**NEW 4-PLEX**  
**115 GATCH STREET**

115 Gatch St, Woodburn, OR 97071

1 NORTH-WEST PERSPECTIVE

SHEET:

**G3.01**



**NEW 4-PLEX**  
**115 GATCH STREET**

115 Gatch St, Woodburn, OR 97071

1 SOUTH-EAST PERSPECTIVE

SHEET:

**G3.02**